

THE CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. SACRAMENTO DESIGN GROUP LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS.

### GENERAL BUILDING NOTES

- SCOPE:**
- 1.01 THE CONSTRUCTION CONTRACT RELATED TO THE WORK OF THIS PROJECT IS HEREBY MADE A PART OF THESE DRAWINGS AS THOUGH FULLY CONTAINED THEREIN.
  - 1.02 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLETE ALL WORK REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THIS PROJECT. THE SCOPE OF PERMIT COMPLIANCE WORK IS INCLUDED IN THE GENERAL CONTRACT FOR CONSTRUCTION OF THIS PROJECT. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR AND GOVERNED BY ALL OF THE REQUIREMENTS THEREUNDER.
  - 1.03 PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE, AND BY THEIR OWN INVESTIGATION, DETERMINE EXISTING SITE CONDITIONS AS TO THE QUANTITIES OF MATERIALS, LABOR HOURS AND ANY OTHER COST ASSOCIATED WITH WORK THAT IS TO BE DONE UNDER THEIR CONTRACT AND AS REQUIRED TO PASS ALL BUILDING PERMIT INSPECTIONS. ALL MODIFICATIONS REQUIRED BY THE INSPECTION AUTHORITY SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.
  - 1.04 PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY AND CONFIRM THE DESIGN REQUIREMENTS OF ALL NEW AND EXISTING BUILDINGS, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND REPORT ANY AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO COMPLETE THE CONTRACT RESULTING FROM AMBIGUITIES OR DISCREPANCIES NOT REPORTED PRIOR TO CONTRACT APPROVAL SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.

**APPLICABLE LAWS, ORDINANCES, REGULATIONS AND STANDARDS**

- 2.01 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONFORM TO THE LATEST APPLICABLE ADOPTED EDITION OF THE CALIFORNIA CODE OF REGULATIONS, TITLE-24, CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, AND ALL LOCAL CODES AND ORDINANCES REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THE PROJECT.
- 2.02 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM ALL WORK REQUIRED BY APPLICABLE BUILDING CODES AND REGULATIONS TO PASS ALL REQUIRED BUILDING INSPECTIONS.

**PERMITS, LICENSES, INSPECTIONS AND FEES**

- 3.01 THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN REVIEW PERMIT, LICENSE AND INSPECTION APPROVALS. ALL FEES REQUIRED FOR APPROVAL SHALL BE PAID BY THE OWNER.

**GUARANTEE**

- 4.01 THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE THAT ALL WORK REQUIRED TO CONSTRUCT THE PROJECT BE A COMPLETE WORKING SYSTEM AND SHALL OPERATE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS. THE CONTRACTOR AGREES TO REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY PROJECT COMPONENTS WHICH THE OWNER DETERMINES TO BE DEFECTIVE WITHIN ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL CONTRACT ACCEPTANCE.

**DATA AND MEASUREMENTS:**

- 5.01 DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL ENDEAVOR TO OBTAIN, VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO ADAPT THE WORK SHALL BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 5.02 DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE OVER SCALED DRAWING INFORMATION.
- 5.03 DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS. REFER TO THE MANUFACTURER FOR ACTUAL ROUGH OPENINGS.
- 5.04 ALL WALL DIMENSIONS ARE NOMINAL. FACE OF STUD TO FACE OF STUD. WALL FINISH DIMENSIONS ARE NOT TAKEN INTO ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE PROPER CLEARANCES.

**SUBSTITUTIONS FOR SPECIFIED MATERIALS:**

- 6.01 SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME AS NOT TO DELAY PROJECT COMPLETION.

**CLEAN UP AND START UP RESPONSIBILITIES**

- 7.01 AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY CLEAN ALL EXPOSED SURFACES OF THEIR RESPECTIVE WORK COMPLETED.
- 7.02 AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO PROJECT ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY TEST AND PROPERLY START UP ALL PROJECT EQUIPMENT AS REQUIRED TO SECURE AND MAINTAIN SPECIFIED EQUIPMENT WARRANTIES. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW ALL MANUFACTURER'S RECOMMENDED OPERATIONS PROCEDURE WITH THE OWNER PRIOR TO PROJECT ACCEPTANCE.

**AREA OF WORK**

- 10.01 THE GENERAL ENGINEERING CONTRACTOR SHALL REMOVE ALL EXISTING LANDSCAPE MATERIAL NOT PROTECTED, CONCRETE PATIOS/PALAPAYAS, YARD FENCING AND POST FOOTINGS, GARAGE STRUCTURE AND FOUNDATION, AND ALL ABANDONED UTILITIES. THE CONTRACTOR SHALL REMOVE EXISTING SITE LIGHTING AND IRRIGATION SYSTEM WITHIN THE AREA OF WORK, TERMINATE/CAP-OFF DISCONNECTION POINTS, AND TURN OVER ALL EXISTING SYSTEM COMPONENTS TO THE OWNER FOR FUTURE USE. ALL TOP SOIL SHALL BE REMOVED AND STORED FOR USE IN FINISH GRADING.

# SACRAMENTO DESIGN GROUP

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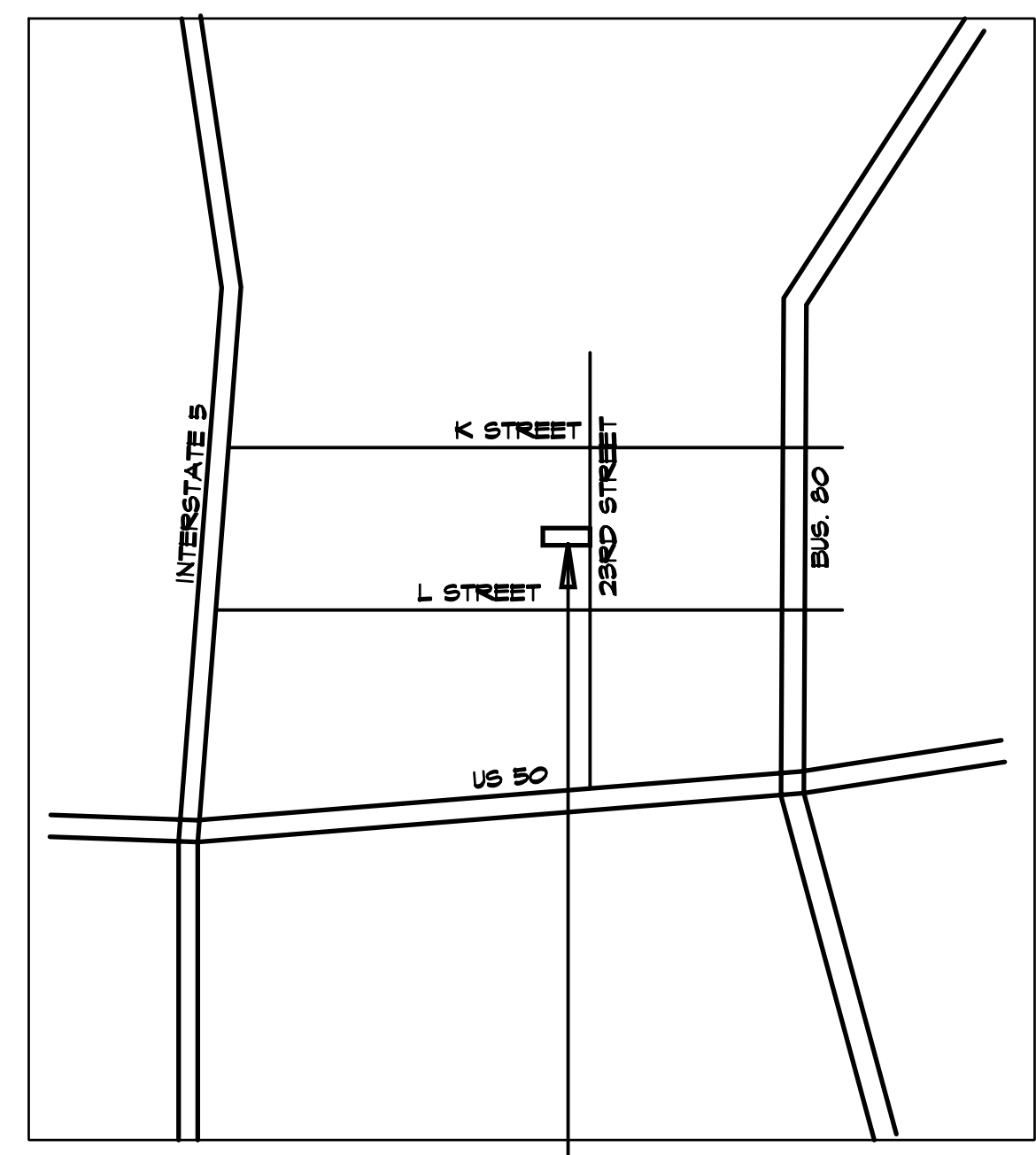
PROPOSED

## 1116 23RD STREET REMODEL & ADDITION

### BUILDING SHEET ABBREVIATIONS

AB	ANCHOR BOLT	FF	FINISH FLOOR	N	NORTH	T	TREAD
ADJ	ADJACENT	FIX	FIXTURE	O/	OVER	TEMP	TEMPERED
ALUM	ALUMINUM	FLOR	FLUORESCENT	OC	ON CENTER	TOC	TOP OF CONCRETE
BM	BEAM	FP	FIRE PLACE	OPCI	OWNER FURNISHED CONTRACTOR INSTALLED	TOS	TOP OF GRADE
BOM	BOTTOM OF WALL					TOP	TOP OF FLOOR
BKS	BLOCKING	GA	GAUGE			TOP	TOP OF PAVEMENT
BRD	BOARD	GFCI	GROUND FAULT INTERRUPTOR	FB	PUSH BUTTON	TOS	TOP OF SLAB
CC	CENTER TO CENTER	GALV	GALVANIZED	PH	PHONE	TON	TOP OF WALL
CL	CENTERLINE	GL	GLASS	PL	PLATE	TV	TELEVISION
CEM	CEMENT					TYP	TYPICAL
CER	CERAMIC	GYP	GYPSPUM	POC	POINT OF CONNECTION	UCR	UNDER COUNTER REFRIG.
CJ	CONTROL JOINT	H	HIGH OR HEIGHT	PT	PRESSURE TREATED	N	NEST
CLS	CEILING	HB	HOSE BIBB	R	RISER	N	NITH
CLR	CLEAR	JTS	JOIST	REF	REFRIGERATOR	WC	WATER CLOSET
						WD	WOOD
CLO	CLOSET	LAV	LAVATORY	REINF	REINFORCED	WH	WATER HEATER
CO	CLEANOUT	LB	FOUND	RM	ROOM	WP	WATER PROOF
CONC	CONCRETE	LIN	LINEN	RWD	REDWOOD	WWM	WELDED WIRE MESH
CONTIN	CONTINUOUS	LT	LIGHT	S	SOUTH		
DBL	DOUBLE	MANF	MANUFACTURER	SB	SET BACK		
DF	DOUGLAS FIR	MAX	MAXIMUM	SF	SQUARE FOOT		
DI	DRAIN INLET	MC	MEDICINE CABINET	SHTHS	SHEATHING		
DIA	DIAMETER	MIN	MINIMUM	SHWR	SHOWER		
DR	DOOR	MTL	METAL	SIM	SIMILAR		
DW	DISH WASHER			SIMP	'SIMPSON'		
E	EAST			SLD	SLIDING		
EL	ELEVATION			SHP	SHELF & POLE		
EQ	EQUAL			STRUCT	STRUCTURAL		

### PROJECT VICINITY MAP



PROJECT LOCATION: APN:007-0094-011  
1116 23RD STREET  
SACRAMENTO, CA 95818

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T24.1	TITLE 24
T24.2	TITLE 24

### PROJECT DATA

APPLICABLE BUILDING CODE:	2007 CBC, CBC, CBC, CBC AND CBC 2006 IBC, UFG, UFG AND NBC ASCE 7-05 2005 TITLE 24
OCCUPANCY GROUP:	R-3 (DWELLING) U (GARAGE)
CONSTRUCTION TYPE:	TYPE-V TWO STORY NOT FIRE-SPRINKLED
PROJECT SCOPE:	RAISE BUILDING, REMODEL DOWNSTAIRS AREA, GARAGE ADDITION WITH UPSTAIR LIVING SPACES

### BUILDING AREA

	EXISTING	PROPOSED	NET CHANGE
1ST FLOOR	1028 S.F.	1124 S.F.	+46 S.F.
2ND FLOOR	440 S.F.	1255 S.F.	+815 S.F.
3RD FLOOR	745 S.F.	745 S.F.	0 S.F.
TOTAL UNCONDITIONED FLOOR AREA:	1224 S.F.	0 S.F.	
GARAGE	200 S.F.	484 S.F.	+284 S.F.
2ND FLOOR (COVERED PATIO)	214 S.F.	255 S.F.	+41 S.F.
3RD FLOOR (OPEN DECK)	0 S.F.	608 S.F.	+608 S.F.
3RD FLOOR (COVERED PATIO)	0 S.F.	55 S.F.	0 S.F.
TOTAL CONDITIONED FLOOR AREA:	3195 S.F.	400 S.F.	
TOTAL BUILDING AREA UNDER ROOF:		4359 S.F.	

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TITLES:  
COVER SHEET

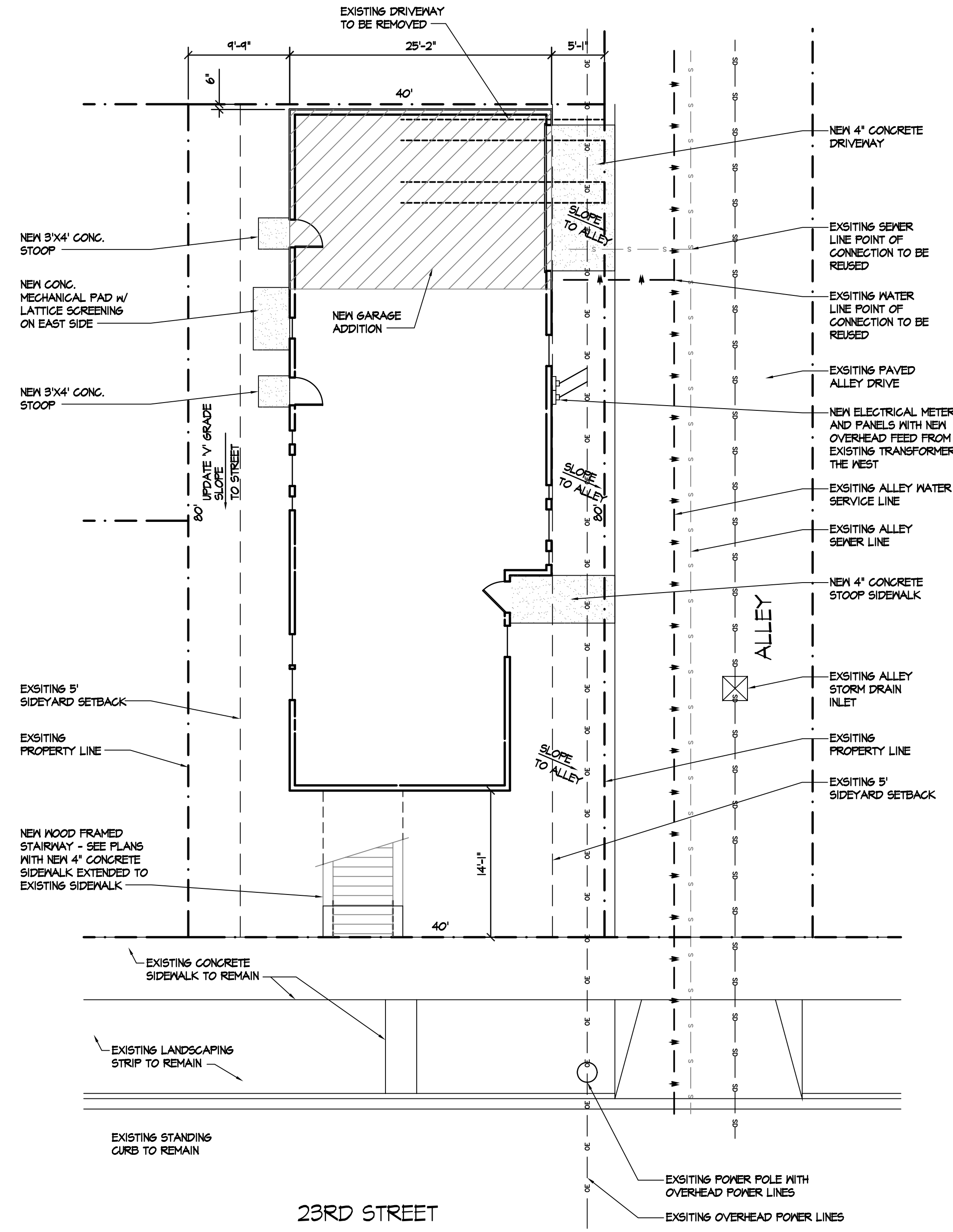
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CONSTRUCTION DOCUMENTS 2009.11.16

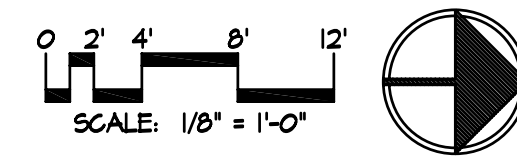
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**GENERAL PLANNING DEPARTMENT NOTES:**

1. THE PROJECT SHALL BE LOCATED AND CONSTRUCTED OF THE MATERIALS INDICATED ON THE APPROVED PLANS.
2. ALL EXISTING ORIGINAL WINDOWS ARE BEING REPAIRED TO REMAIN IN PLACE.
3. ALL NEW WINDOWS SHALL BE MADE OF WOOD, NO METAL GLAZING OR VINYL WINDOWS. ALL NEW WINDOWS SHALL BE DOUBLE OR SINGLE HUNG, EXCEPT FOR LARGE FIXED WINDOWS PER APPROVED PLANS.
4. ALL EXTERIOR DOORS SHALL BE MADE OF WOOD, INCLUDING GARAGE DOOR.
5. ALL EXISTING LAP SIDING AND SHINGLE SIDING SHALL REMAIN IN PLACE AND REPAIRED ONLY WHERE THERE ARE MISSING PIECES TO MATCH ORIGINAL IN-KIND, AS APPROVED BY PRESERVATION STAFF. ALL NEW SIDING SHALL MATCH ORIGINAL IN-KIND. \*MATCH IN-KIND SHALL MEAN MATCHING MATERIALS, DESIGN, DIMENSIONS, PROFILES, PLACEMENT AND FINISHES)
6. ALL EXISTING WOOD WINDOW TRIM SHALL REMAIN IN PLACE AND REPAIRED ONLY AS NEEDED AND APPROVED BY PRESERVATION STAFF.
7. GUTTERS SHALL BE PROVIDED, NOT FASCIA GUTTERS.
8. TRIM AROUND ALL NEW WINDOWS AND DOOR OPENINGS SHALL MATCH THE TRIM ON ORIGINAL PORTIONS OF HOME.
9. NEW SHINGLES SHALL BE WOOD TYPE TO MATCH HOUSE.
10. THE EXISTING ROOFING IS TO REMAIN IN PLACE, ANY REPLACEMENT OR REPAIR MUST MATCH EXISTING ROOFING.
11. NEW HVAC UNITS SHALL BE GROUND MOUNTED IN REAR AND SHALL NOT BE VISIBLE FROM ANY STREET VIEWS. (SCREENED BY LATTICE)
12. ALL NEW WOODWORK, EXCEPT SHINGLES, SHALL HAVE A SMOOTH, PAINTED FINISH. NO ROUGH-SAWN OR RAISED GRAIN PATTERNS ALLOWED.
13. GARAGE DOOR SHALL HAVE A WINDOW WITH DIVIDED LIGHTS ALONG TOP. FINAL DESIGN SHALL BE SUBMITTED TO PRESERVATION STAFF FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
14. ANY PROPOSED FENCINGS MUST BE SUBMITTED TO THE PRESERVATION STAFF FROM APPROVAL.
15. ALL WORK SHALL ALSO COMPLY WITH THE CONDITION OF THE APPROVAL FOR ZONING ADMINISTRATOR FILE Z04-193.
16. ALL OTHER NOTES AND DRAWINGS ON THE FINAL PLANS AS SUBMITTED BY THE APPLICANT ARE DEEMED CONDITIONS OF APPROVAL. ANY WORK THAT DIFFERS FROM THE FINAL SET OF PLANS STAMPED BY PRESERVATION STAFF SHALL BE SUBJECT TO REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT OR WORK UNDERTAKEN.
17. NO OTHER EXTERIOR WORK IS ALLOWED.
18. REVISED EXTERIOR ELEVATIONS, SITE PLANS AND FLOOR PLANS INCORPORATING ALL THE CHANGES REQUIRED IN THE CONDITIONS OF APPROVAL MUST BE SUBMITTED TO PRESERVATION STAFF, REVIEWED BY PRESERVATION STAFF AND APPROVED BY PRESERVATION STAFF PRIOR TO APPLYING FOR BUILDING PERMIT. IN ADDITION, ALL REVISIONS MUST BE INDICATED ON THE SETS SUBMITTED TO BUILDING DEPARTMENT.
19. THIS APPROVAL EXPIRES IN THREE YEARS FROM THE DATE APPROVED.



**SITE PLAN**



1116 23RD STREET, SACRAMENTO, CA REMODEL AND ADDITION

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TITLES:  
 SITE PLAN AND NOTES

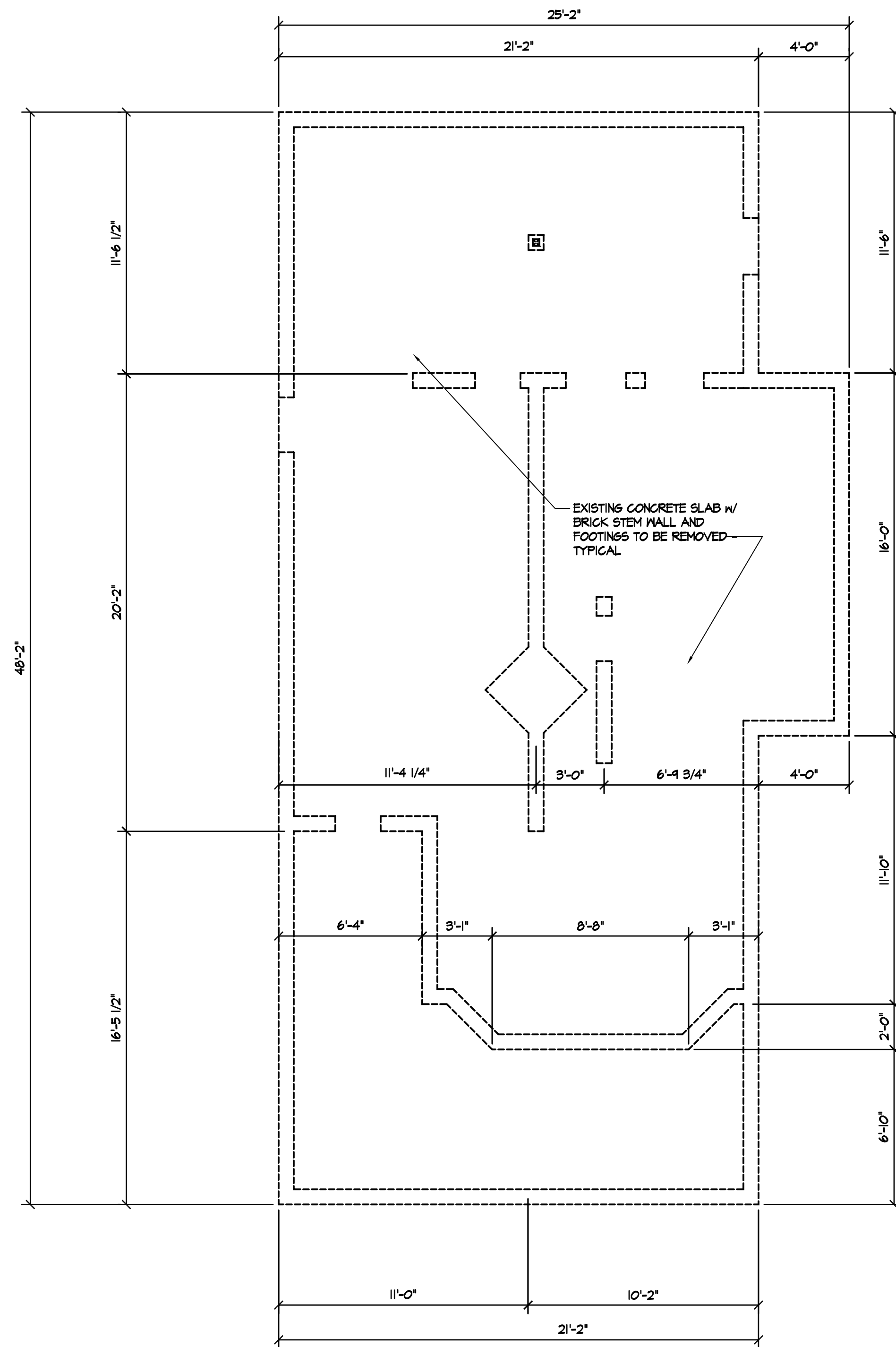
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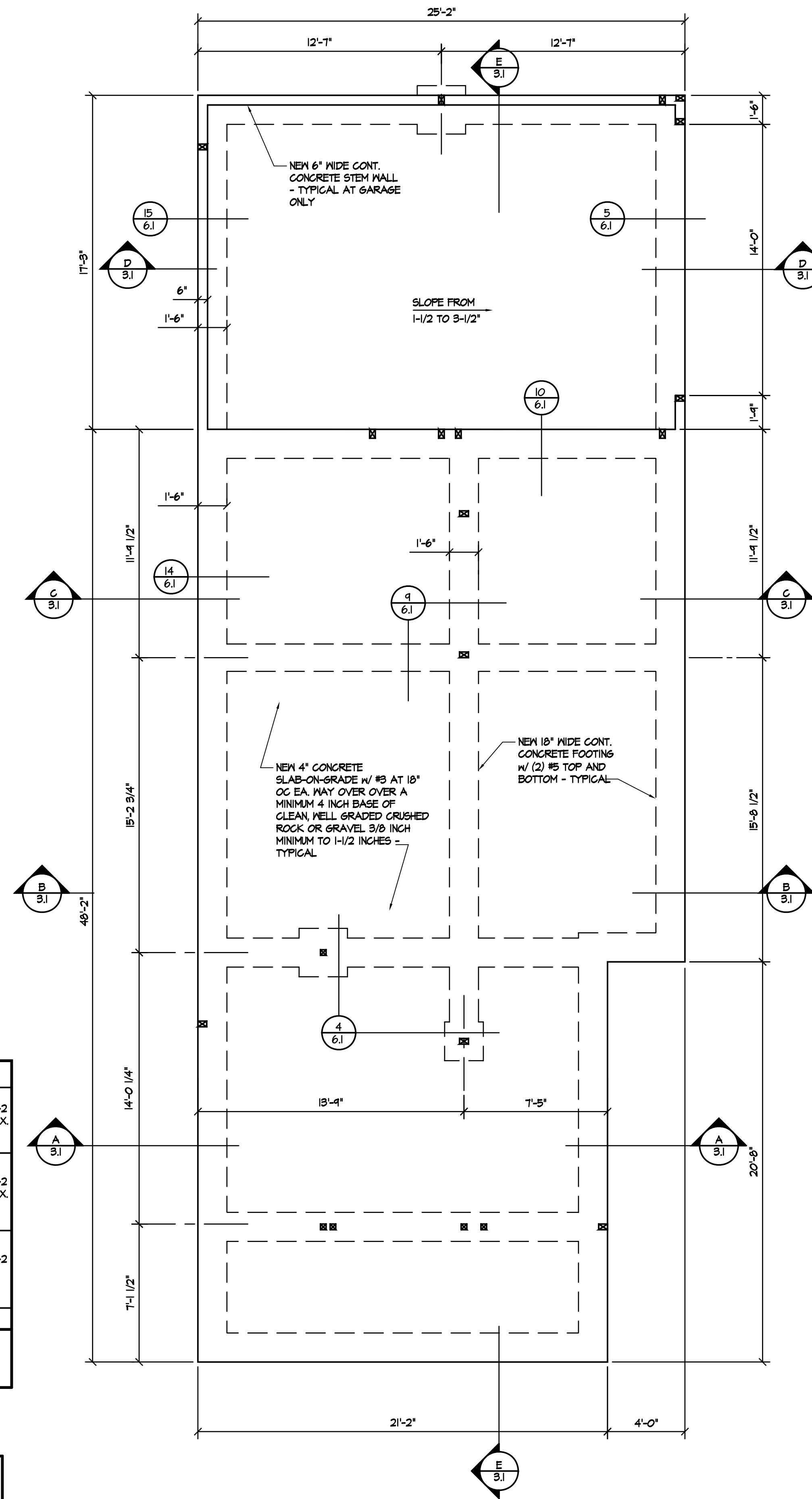
EXISTING GROUND FLOOR FOUNDATION PLAN

SYMBOL	DESCRIPTION
	2x4 OR 2x6 STUDS AT 24" OC W/ VERTICAL 3/8" C-D, C-C SHEATHING, PLYND PANEL SIDING AND OTHER GRADES COVERED IN CBC STANDARD 23-2 OR 23-3 W/ 8d AT 6 EN & 12 FIELD. 5/8" ANCHOR BOLTS AT 4'-0" OC MAX. 1" EMBED.
	2x4 OR 2x6 STUDS AT 24" OC W/ VERTICAL 3/8" C-D, C-C SHEATHING, PLYND PANEL SIDING AND OTHER GRADES COVERED IN CBC STANDARD 23-2 OR 23-3 W/ 8d AT 3 EN & 12 FIELD. 5/8" ANCHOR BOLTS AT 3'-0" OC MAX. 1" EMBED.
	2x4 OR 2x6 STUDS AT 16" OC W/ VERTICAL 3/8" C-D, C-C SHEATHING, PLYND PANEL SIDING AND OTHER GRADES COVERED IN CBC STANDARD 23-2 OR 23-3 ON BOTH SIDES W/ 8d AT 3 EN & 12 FIELD. 5/8" ANCHOR BOLTS AT 20" OC MAX. 1" EMBED.

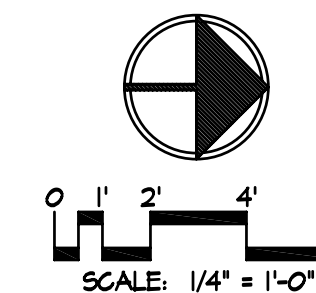
**SHIELD WALL SCHED.**

**BRACED WALL SCHEDULE**

	TYPE 1 ALTERNATE BRACED FRAME WALL (32" MIN.)-SEE
	TYPE 2 ALTERNATE BRACED FRAME WALL (32" MIN.)-SEE
	TYPE 3 BRACED WALL PANEL (48" MIN.)-SEE
	TYPE 5 BRACED WALL PANEL (48" MIN. ONE SIDE)-SEE
	TYPE 5 BRACED WALL PANEL (48" MIN. TWO SIDES)-SEE
	EXISTING TYPE 3 BRACED WALL PANEL-SEE



IMPROVED GROUND FLOOR FOUNDATION PLAN



1116 23RD STREET, SACRAMENTO, CA REMODEL AND ADDITION

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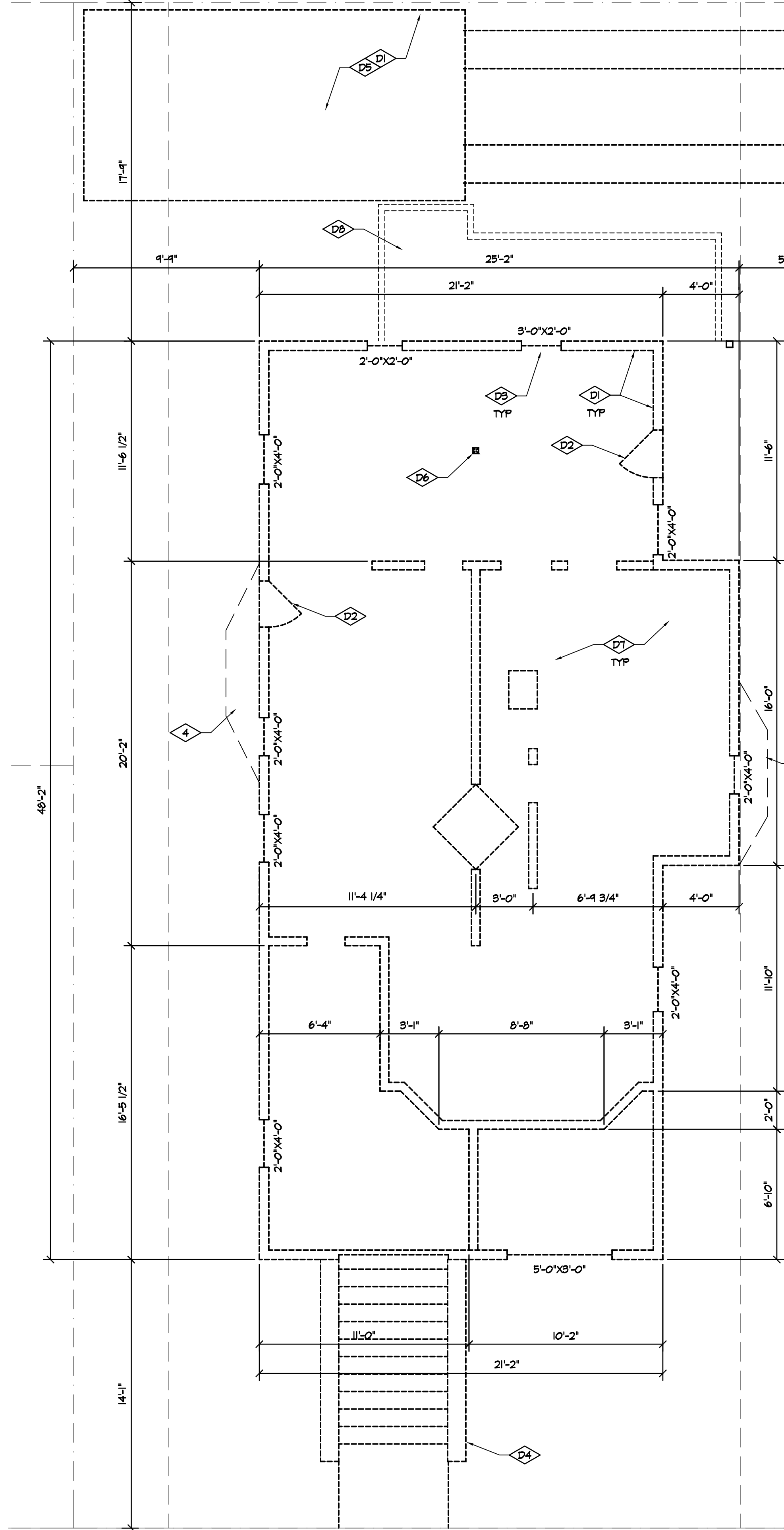
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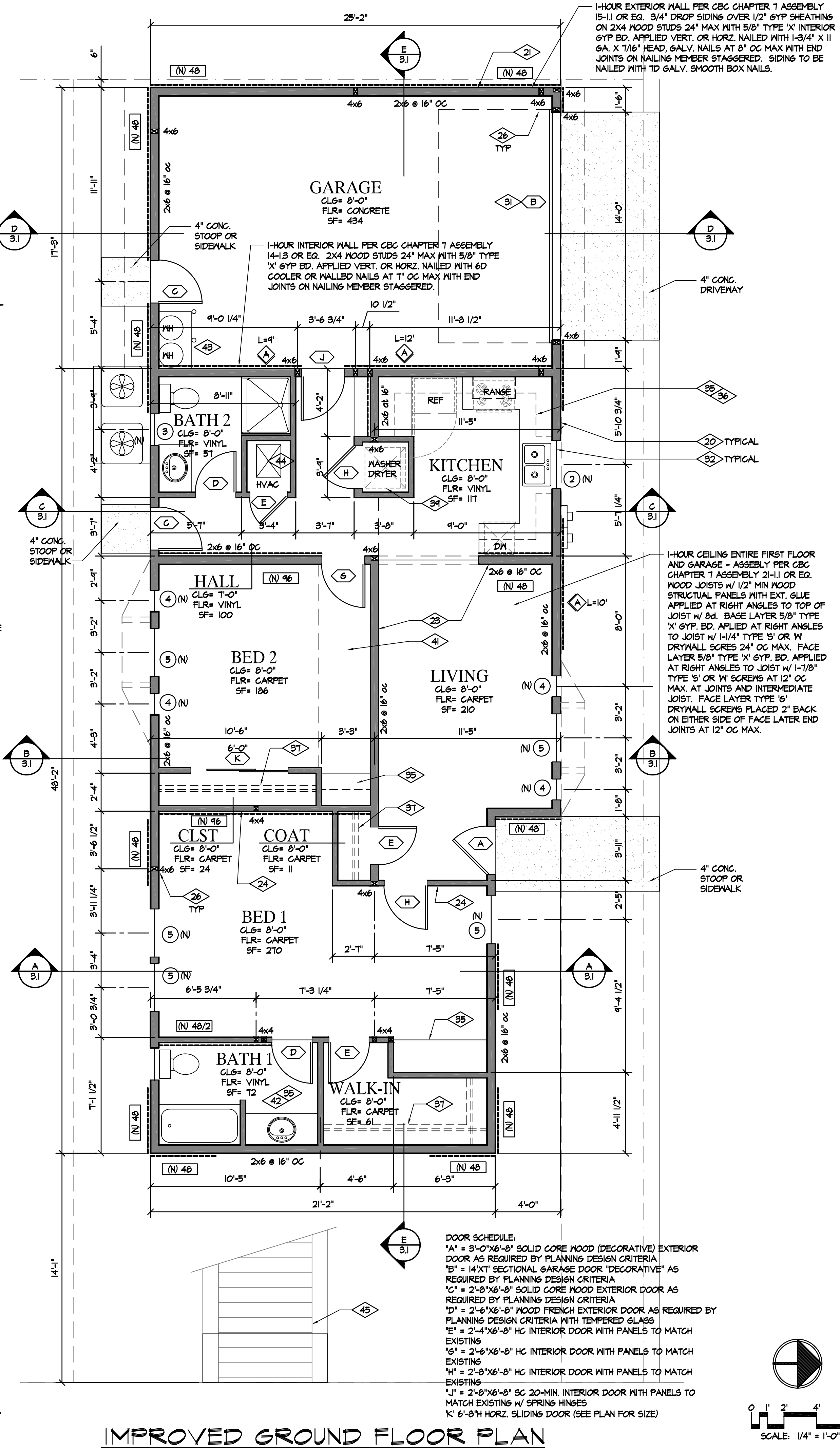
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EXISTING GROUND FLOOR PLAN

**KEYNOTES**

- 1 REMOVED AND REPLACED WITH MATCHING EXISTING REDWOOD HORIZ. LAP SIDING OVER EXISTING REDWOOD 2X6 AT 24" INCHES OC
- 2 REMOVED EXISTING DOORWAY
- 3 REMOVED OR REPLACED EXISTING WINDOW UNIT - SEE IMPROVEMENT PLAN
- 4 REMOVED AND REPLACED EXISTING STAIRCASE/SIDEWALK
- 5 REMOVED EXISTING ROOF FRAMING
- 6 REMOVED EXISTING COLUMN
- 7 REMOVE ALL ABANDONED FLOOR BEAMS
- 8 REMOVE NON-PERMITTED ADDITION IN ITS ENTIRETY
- 9 REPLACE OR REPAIR ALL DRY ROT OR INAPPROPRIATELY CUT/DAMAGED FLOOR FRAMING MEMBERS
- 10 EXISTING REDWOOD HORIZ. LAP SIDING OVER EXISTING 2X4 ROUGH-SAWN REDWOOD FRAMING TO REMAIN WITH NEW 1/2" GYP. BD. INTERIOR FINISHES - PATCH AND REFINISH AS REQUIRED (2ND & 3RD FLOORS)
- 11 EXISTING INTERIOR 2X4 AT STUD WALL WITH NEW 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR. (2ND & 3RD FLOORS)
- 12 EXISTING INTERIOR 2X3 AT STUD WALL WITH NEW 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR. (2ND & 3RD FLOORS)
- 13 EXISTING BAY WINDOW ABOVE TO REMAIN (COORDINATE ALL NEW WORK WITH EXISTING BRACKET BRACES BELOW BAY - PATCH AND REFINISH AS REQUIRED (2ND & 3RD FLOORS)
- 14 EXISTING ROOF SOFFIT/OVERHANG TO REMAIN - PATCH AND REFINISH AS REQUIRED (2ND & 3RD FLOORS)
- 15 EXISTING INTERIOR POCKET DOOR TO BE ABANDONED/LOCKED IN PLACE OR REPAIRED PER OWNER'S DIRECTION (2ND FLOOR)
- 16 EXISTING STAIRWAY TO BE REFINISHED. INSTALL NEW GUARDRAIL AND HANDRAILS AS REQUIRED TO COMPLY WITH CBC WITH MATERIALS SUITABLE FOR STYLE OF HOME (2ND & 3RD FLOORS) - SEE DETAIL
- 17 EXISTING BRICK FIREPLACE TO BE ABANDONED IN PLACE WITH CHIMNEY TO BE REMOVED. INSTALL NEW BRICK REAR WALL FLUSH WITH BACK OF EXISTING BRICK TO CREATE NICHE TO REPRESENT FIREPLACE VISUALLY.
- 18 NEW REDWOOD SIDING TO MATCH EXISTING OVER TYVEK OR EQ BUILDING PAPER OVER NEW DF 2X6 AT 16" OC STUDS WITH 1/2" GYP. BD. INTERIOR FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR.
- 19 NEW REDWOOD SIDING TO MATCH EXISTING OVER TYVEK OR EQ BUILDING PAPER OVER 1 LAYER OF TYPE 'X' GYP. BD. (BOTH SIDES) OVER NEW DF 2X6 AT 16" OC STUDS WITH 1/2" GYP. BD. INTERIOR FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR.
- 20 NEW WOOD SHINGLE EXTERIOR WALL FINISH OVER TYVEK OR EQ BUILDING PAPER OVER OSB OVER 2X FRAMING (2ND FLOOR)
- 21 NEW INTERIOR 2X6 AT 16" OC STUD WALL WITH 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR.
- 22 NEW INTERIOR 2X4 AT 16" OC STUD WALL WITH 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR.
- 23 NEW INTERIOR 2X3 AT 16" OC STUD WALL WITH 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR. (3RD FLOOR)
- 24 NEW 4X POST - SEE FRAMING PLANS
- 25 NEW REDWOOD SIDING FRAMED STAIRCASE TO MATCH EXISTING - SEE DETAILS
- 26 NEW CLASS B MIN. ROOFING SHINGLE SYSTEM TO MATCH EXISTING OVER 15/32" OSB DECKING W/ 8D AT 6" EN AND 12" FIELD - SEE SECTIONS AND ELEVATIONS FOR VARIOUS SLOPE CONFIGURATIONS (2ND & 3RD FLOORS)
- 27 NEW CLASS B MIN. ROOFING SHINGLE SYSTEM TO MATCH EXISTING OVER 15/32" OSB DECKING W/ 10D AT 6" EN AND 12" FIELD OVER TYPE 'X' GYP SHEATHING BOTH SIDES - SEE SECTIONS AND ELEVATIONS FOR VARIOUS SLOPE CONFIGURATIONS (2ND FLOOR)
- 28 NEW DOOR - SEE DOOR SCHEDULE
- 29 NEW SECTIONAL GARAGE DOOR - SEE DOOR SCHEDULE
- 30 NEW WINDOW - SEE WINDOW SCHEDULE
- 31 NEW 2X CAP TO MATCH FRONT PORCH TRIM (2ND & 3RD FLOORS)
- 32 NEW STEEL/WROUGHT IRON RAIL WITH METAL WIRE GUARDRAIL ON TOP OF BALCONY MALL - SEE DETAILS (2ND & 3RD FLOORS)
- 33 NEW CABINETS PER OWNER'S DIRECTION
- 34 NEW KITCHEN APPLIANCES PER OWNER'S DIRECTION/ELF AN
- 35 NEW CLOSET SHELF AND RODS PER OWNER'S DIRECTION
- 36 NEW URETHANE ELASTOMERIC TYPE DECKING SYSTEM OVER 3/4" T&G PLYWOOD DECK (2ND & 3RD FLOORS)
- 37 NEW STACKING WASHER AND DRYER UNIT
- 38 NEW STANDARD WASHER AND DRYER UNIT (2ND FLOOR)
- 39 NEW 2X FRAMED HVAC SOFFIT (4" T-O" A.F.F.)
- 40 NEW PLUMBING FIXTURES - SEE PLUMBING SCHEDULE (NOTE: ALL SHOWER ENCLOSURES ARE TO BE WITH TEMPERED GLASS AS OCCURS)
- 41 NEW GAS WATER HEATER - SEE PLUMBING SCHEDULE ON FRAMED PLATFORM W/ 3" DIA. PIPE BOLLARD PROTECTION SET IN 12" DIA. CONCRETE FOOTING
- 42 NEW HVAC UNIT ON PLYWOOD PLATFORM FOR RETURN AIR SUPPLY. INSTALL RETURN AIR GRILL AT FLOOR LEVEL.
- 43 NEW REDWOOD SIDING / 2X4 FRAMING STAIR GUARDRAIL TO MATCH EXISTING. PROVIDE WOOD FRAMED STAIRS (FIELD VERIFY DEPTH) 4" MIN-T" MAX RISERS AND 11" MIN TREADS. REPLACE SIDEWALK LANDINGS W/ 4" THICK CONC. LANDINGS AS SITE ALLOWS - SEE DETAILS



IMPROVED GROUND FLOOR PLAN

1116 23RD STREET, SACRAMENTO, CA REMODEL AND ADDITION

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TITLES:  
GROUND FLOOR PLANS

CONSTRUCTION DOCUMENTS 2009.11.16

SHEET:

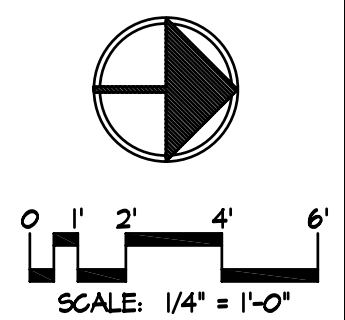
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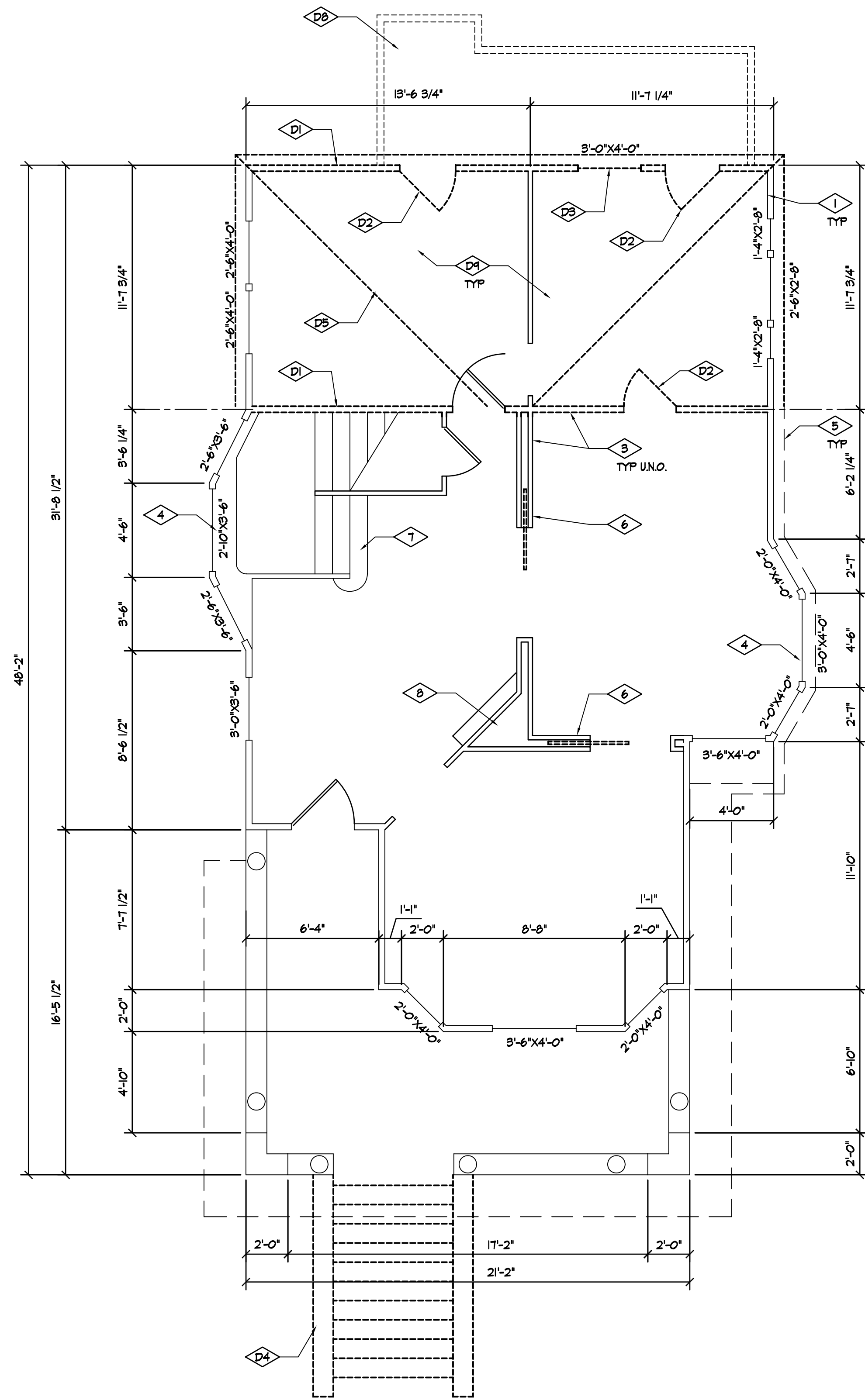
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A.P.N. 007-0094-011



DOOR SCHEDULE:  
 'A' = 3'-0"x6'-0" SOLID CORE WOOD (DECORATIVE) EXTERIOR DOOR AS REQUIRED BY PLANNING DESIGN CRITERIA  
 'B' = 14'X7' SECTIONAL GARAGE DOOR "DECORATIVE" AS REQUIRED BY PLANNING DESIGN CRITERIA  
 'C' = 2'-0"x6'-0" SOLID CORE WOOD EXTERIOR DOOR AS REQUIRED BY PLANNING DESIGN CRITERIA  
 'D' = 2'-6"x6'-0" WOOD FRENCH EXTERIOR DOOR AS REQUIRED BY PLANNING DESIGN CRITERIA WITH TEMPERED GLASS  
 'E' = 2'-4"x6'-0" HG INTERIOR DOOR WITH PANELS TO MATCH EXISTING  
 'F' = 2'-6"x6'-0" HG INTERIOR DOOR WITH PANELS TO MATCH EXISTING  
 'G' = 2'-8"x6'-0" HG INTERIOR DOOR WITH PANELS TO MATCH EXISTING  
 'H' = 2'-8"x6'-0" HG INTERIOR DOOR WITH PANELS TO MATCH EXISTING  
 'I' = 2'-8"x6'-0" SG 20-MIN. INTERIOR DOOR WITH PANELS TO MATCH EXISTING W/ SPRING HINGES  
 'K' = 6'-0" H. SLIDING DOOR (SEE PLAN FOR SIZE)

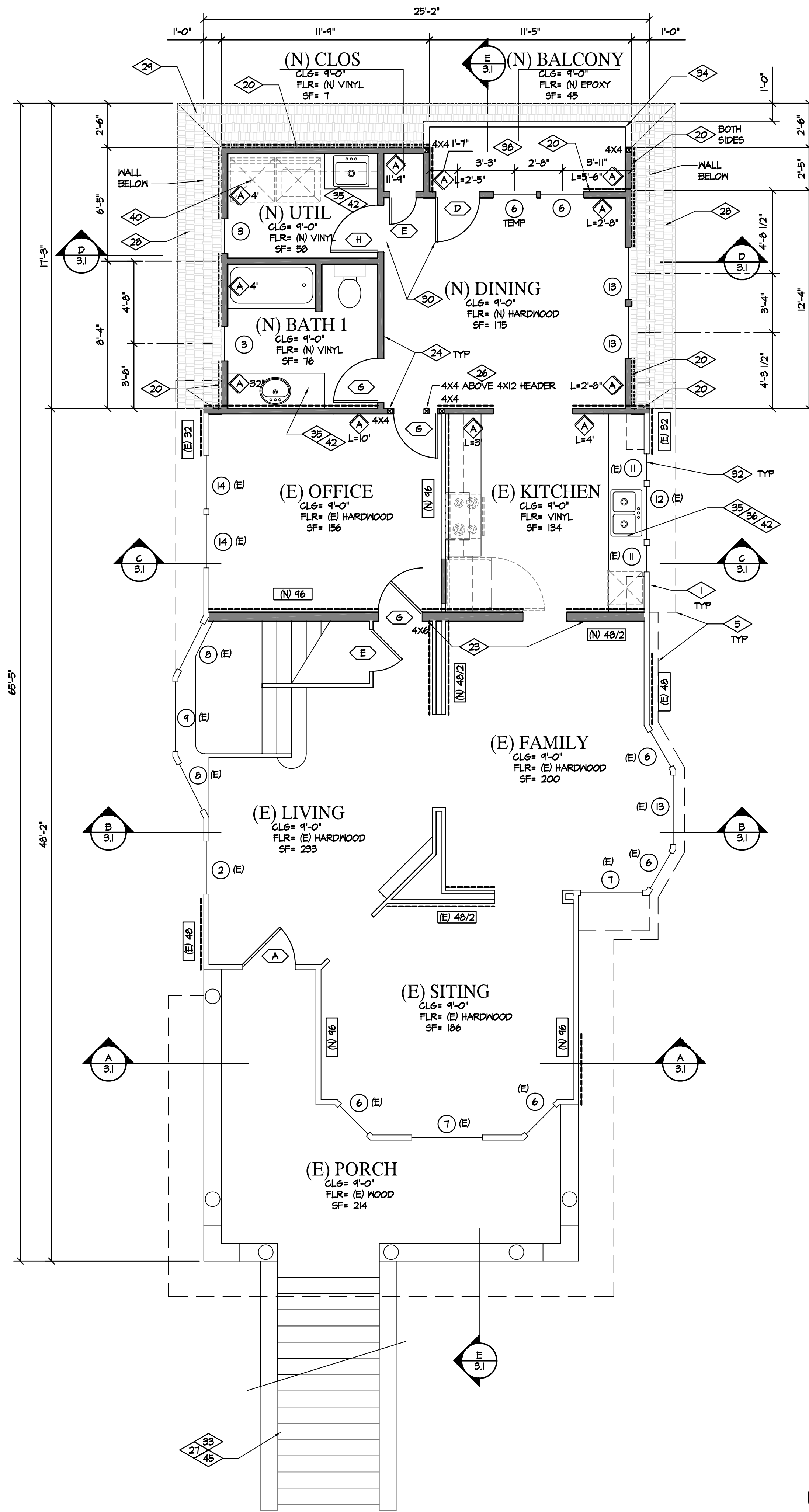
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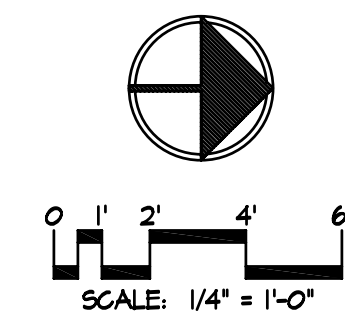
EXISTING MAIN FLOOR PLAN

**KEYNOTES**

- 1. REMOVED EXISTING MALL DUE TO EXTENSIVE DAMAGES AND REPLACE WITH NEW
- 2. REMOVED EXISTING DOORWAY
- 3. REMOVED OR REPLACED EXISTING WINDOW UNIT - SEE IMPROVEMENT PLAN
- 4. REMOVED AND REPLACED EXISTING STAIRCASE/SIDEWALK
- 5. REMOVED EXISTING ROOF FRAMING
- 6. REMOVED EXISTING COLUMN
- 7. REMOVE ALL ABANDONED FLOOR BEAMS
- 8. REMOVE NON-PERMITTED ADDITION IN ITS ENTIRETY
- 9. REPLACE OR REPAIR ALL DRY ROT OR INAPPROPRIATELY CUT/DAMAGED FLOOR FRAMING MEMBERS
- 10. EXISTING REDWOOD HORIZ. LAP SIDING OVER EXISTING 2X4 ROUGH-SAWN REDWOOD FRAMING TO REMAIN WITH NEW 1/2" GYP. BD. INTERIOR FINISHES - PATCH AND REFINISH AS REQUIRED (2ND & 3RD FLOORS)
- 11. EXISTING INTERIOR 2X4 AT STUD WALL WITH NEW 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR. (2ND & 3RD FLOORS)
- 12. EXISTING INTERIOR 2X3 AT STUD WALL WITH NEW 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR. (2ND & 3RD FLOORS)
- 13. EXISTING BAY WINDOW TO REMAIN (COORDINATE ALL NEW WORK WITH EXISTING BRACKET BRACES BELOW BAY - PATCH AND REFINISH AS REQUIRED (2ND & 3RD FLOORS)
- 14. EXISTING ROOF SOFFIT/OVERHANG TO REMAIN - PATCH AND REFINISH AS REQUIRED (2ND & 3RD FLOORS)
- 15. EXISTING INTERIOR POCKET DOOR TO BE ABANDONED/LOCKED IN PLACE OR REPAIRED PER OWNER'S DIRECTION (2ND FLOOR)
- 16. EXISTING STAIRWAY TO BE REFINISHED. INSTALL NEW GUARDRAIL AND HANDRAILS AS REQUIRED TO COMPLY WITH CBC WITH MATERIALS SUITABLE FOR STYLE OF HOME (2ND & 3RD FLOORS) - SEE DETAIL
- 17. EXISTING BRICK FIREPLACE TO BE ABANDONED IN PLACE WITH CHIMNEY TO BE REMOVED. INSTALL NEW BRICK REAR WALL FLUSH WITH BACK OF EXISTING BRICK TO CREATE NICHE TO REPRESENT FIREPLACE VISUALLY.
- 18. NEW REDWOOD SIDING TO MATCH EXISTING OVER TYVEK OR EQ BUILDING PAPER OVER NEW DF 2X4 AT 16" OC STUDS WITH 1/2" GYP. BD. INTERIOR FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR.
- 19. NEW REDWOOD SIDING TO MATCH EXISTING OVER TYVEK OR EQ BUILDING PAPER OVER 1 LAYER OF TYPE 'X' GYP. BD. (BOTH SIDES) OVER NEW DF 2X6 AT 16" OC STUDS WITH 1/2" GYP. BD. INTERIOR FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR. (1ST FLOOR)
- 20. NEW WOOD SHINGLE EXTERIOR WALL FINISH OVER TYVEK OR EQ BUILDING PAPER OVER OSB OVER 2X FRAMING (3RD FLOOR)
- 21. NEW INTERIOR 2X6 AT 16" OC STUD WALL WITH 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR.
- 22. NEW INTERIOR 2X4 AT 16" OC STUD WALL WITH 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR.
- 23. NEW INTERIOR 2X3 AT 16" OC STUD WALL WITH 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR. (3RD FLOOR)
- 24. NEW 4X POST - SEE FRAMING PLANS
- 25. NEW REDWOOD SIDING FRAMED STAIRCASE TO MATCH EXISTING - SEE DETAILS
- 26. NEW CLASS B MIN. ROOFING SHINGLE SYSTEM TO MATCH EXISTING OVER 15/32" OSB DECKING W/ 3/4" AT 6" EN AND 12" FIELD - SEE SECTIONS AND ELEVATIONS FOR VARIOUS SLOPE CONFIGURATIONS (2ND & 3RD FLOORS)
- 27. NEW CLASS B MIN. ROOFING SHINGLE SYSTEM TO MATCH EXISTING OVER 15/32" OSB DECKING W/ 10D AT 6" EN AND 12" FIELD OVER TYPE 'X' GYP SHEATHING BOTH SIDES - SEE SECTIONS AND ELEVATIONS FOR VARIOUS SLOPE CONFIGURATIONS (2ND FLOOR)
- 28. NEW DOOR - SEE DOOR SCHEDULE
- 29. NEW SECTIONAL GARAGE DOOR - (1ST FLOOR)
- 30. NEW WINDOW - SEE WINDOW SCHEDULE
- 31. NEW 2X CAP TO MATCH FRONT PORCH TRIM (2ND & 3RD FLOORS)
- 32. NEW STEEL/WROUGHT IRON RAIL WITH METAL WIRE GUARDRAIL ON TOP OF BALCONY MALL - SEE DETAILS (2ND & 3RD FLOORS)
- 33. NEW CABINETS PER OWNER'S DIRECTION
- 34. NEW KITCHEN APPLIANCES PER OWNER'S DIRECTION
- 35. NEW CLOSET SHELF AND RODS PER OWNER'S DIRECTION
- 36. NEW URETHANE ELASTOMERIC TYPE DECKING SYSTEM OVER 3/4" T&G PLYWOOD DECK (2ND & 3RD FLOORS)
- 37. NEW STACKING WASHER AND DRYER UNIT (1ST FLOOR)
- 38. NEW STANDARD WASHER AND DRYER UNIT
- 39. NEW 2X FRAMED HVAC SOFFIT (1ST FLOOR 4'1"-0" A.F.F.)
- 40. NEW PLUMBING FIXTURES - SEE PLUMBING SCHEDULE (NOTE: ALL SHOWER ENCLOSURES ARE TO BE WITH TEMPERED GLASS AS OCCURS)
- 41. NEW GAS WATER HEATER - SEE PLUMBING SCHEDULE ON FRAMED PLATFORM W/ 3" DIA. PIPE BOLLARD PROTECTION SET IN 12" DIA. CONCRETE FOOTING
- 42. NEW HVAC UNIT ON PLYWOOD PLATFORM FOR RETURN AIR SUPPLY. INSTALL RETURN AIR GRILL AT FLOOR LEVEL.
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IMPROVED MAIN FLOOR PLAN



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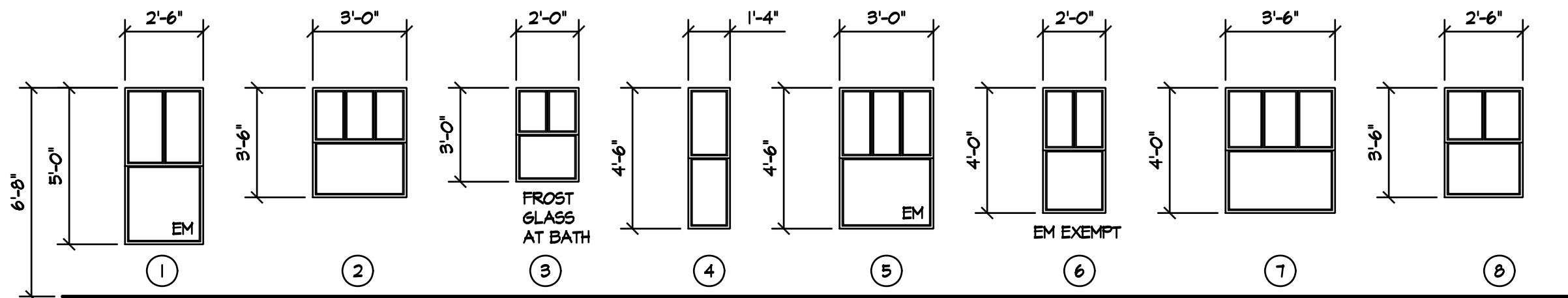
TITLES:  
**SECOND FLOOR PLANS**

CONSTRUCTION DOCUMENTS 2009.11.16

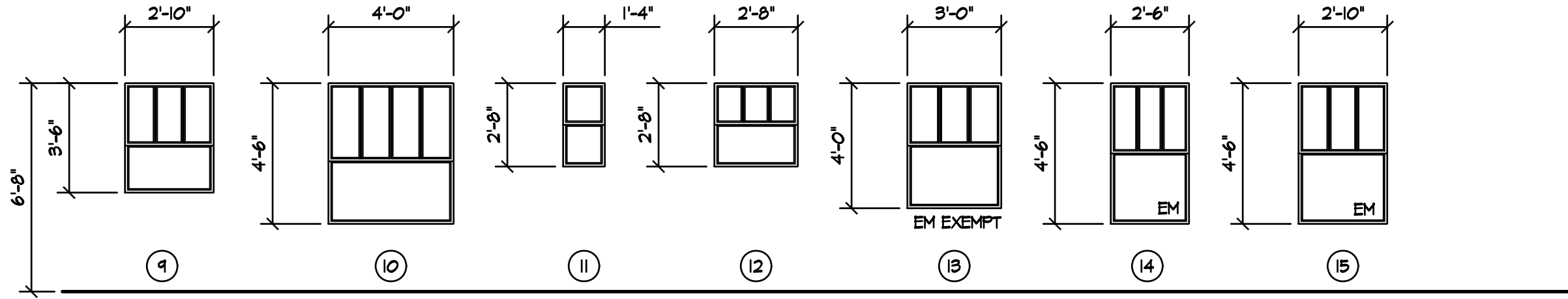
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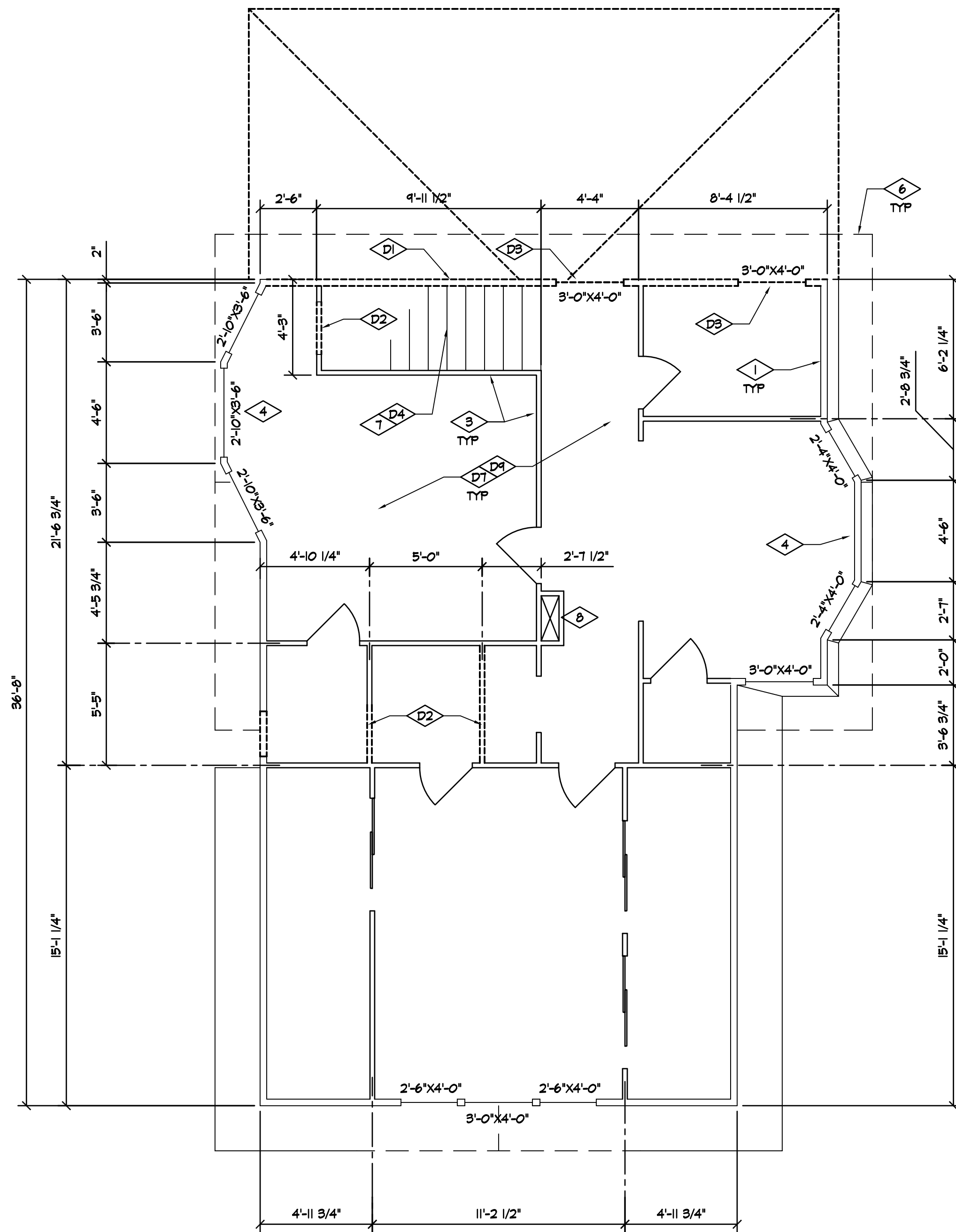
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NOTE: ALL UNITS ARE EITHER REPLACEMENT UNITS FOR EXISTING OPENINGS OR NEW UNITS FOR NEW OPENINGS. ALL UNITS ARE TO COMPLY WITH PLANNING DEPARTMENT REQUIREMENTS AND DUAL GLAZED WOOD FRAMED. ALL UNITS TO BE DOUBLE HUNG U.N.O.  
 T\* = TEMPERED GLASS  
 EM = MUST COMPLY WITH CBC EMERGENCY EGRESS REQ. (24" VERT AND 20" HORIZ. CLEAR)



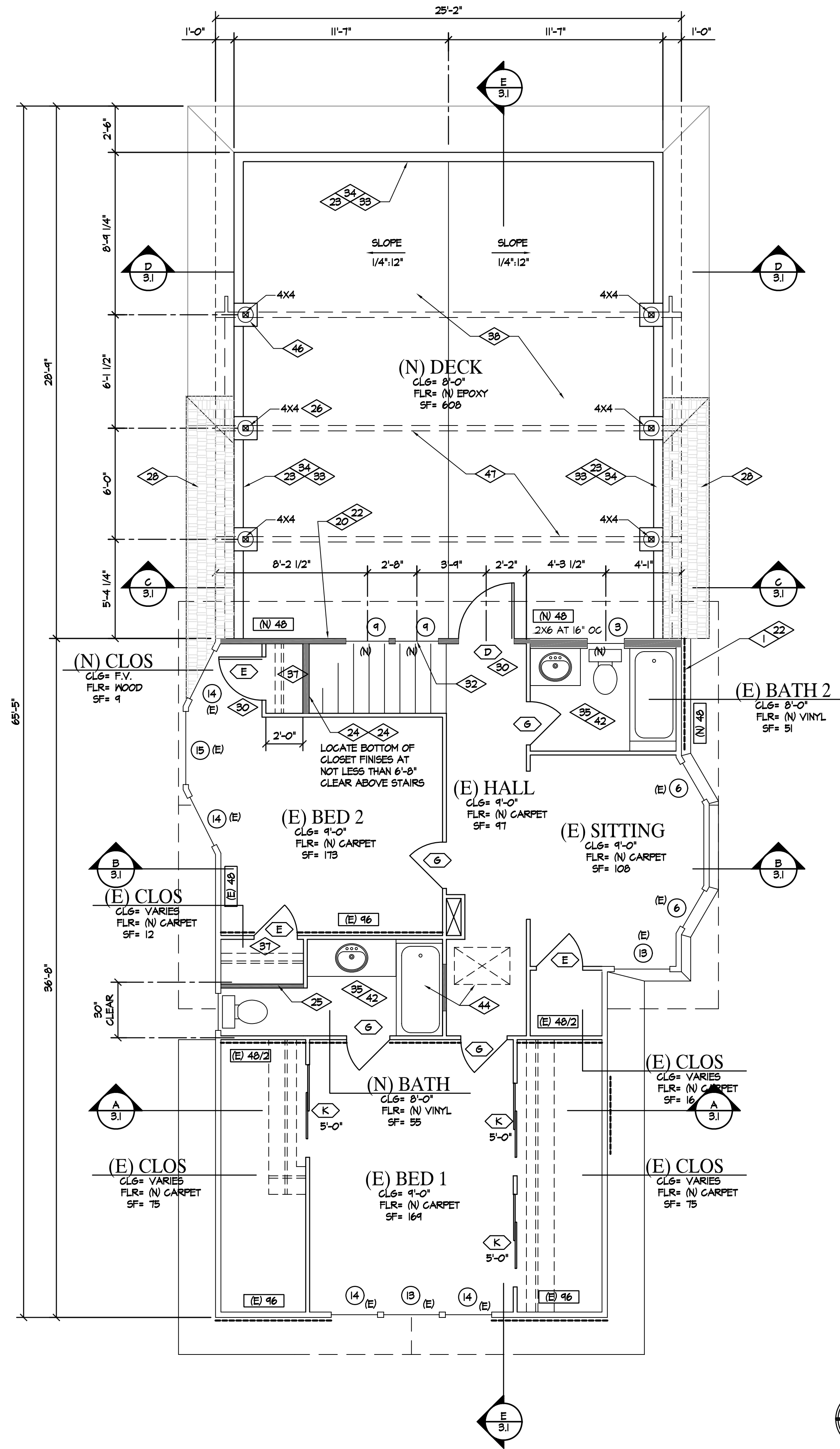
**WINDOW SCHEDULE**



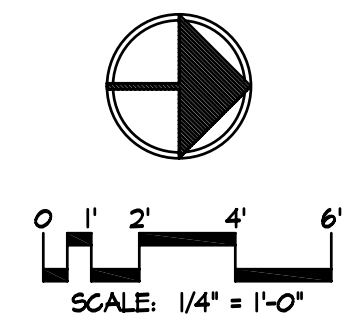
**EXISTING UPPER FLOOR PLAN**

**KEYNOTES**

- ◇1 REMOVED EXISTING WALL DUE TO EXTENSIVE DAMAGES AND REPLACE WITH NEW
- ◇2 REMOVED EXISTING WALL AS REQUIRED
- ◇3 REMOVED OR REPLACED EXISTING WINDOW UNIT - SEE IMPROVEMENT PLAN
- ◇4 REMOVED AND REPLACED EXISTING STAIRCASE AS REQ. FOR NEW WORK
- ◇5 REMOVED EXISTING ROOF FRAMING
- ◇6 REMOVED EXISTING COLUMN
- ◇7 REMOVE ALL ABANDONED FLOOR/CEILING BEAMS
- ◇8 REMOVE NON-PERMITTED ADDITION IN ITS ENTIRETY
- ◇9 REPLACE OR REPAIR ALL DRY ROT OR INAPPROPRIATELY CUT/DAMAGED FLOOR FRAMING MEMBERS
- ◇10 EXISTING REDWOOD HORIZ. LAP SIDING OVER EXISTING 2X4 ROUGH-SAWN REDWOOD FRAMING TO REMAIN WITH NEW 1/2" GYP. BD. INTERIOR FINISHES - PATCH AND REFINISH AS REQUIRED (2ND & 3RD FLOORS)
- ◇11 EXISTING INTERIOR 2X4 AT STUD WALL WITH NEW 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR. (2ND & 3RD FLOORS)
- ◇12 EXISTING INTERIOR 2X3 AT STUD WALL WITH NEW 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR. (2ND & 3RD FLOORS)
- ◇13 EXISTING BAY WINDOW TO REMAIN (COORDINATE ALL NEW WORK WITH EXISTING BRACKET BRACES BELOW BAY - PATCH AND REFINISH AS REQUIRED (2ND & 3RD FLOORS)
- ◇14 EXISTING ROOF SOFFIT/OVERHANG TO REMAIN - PATCH AND REFINISH AS REQUIRED (2ND & 3RD FLOORS)
- ◇15 EXISTING INTERIOR POCKET DOOR TO BE ABANDONED/LOCKED IN PLACE OR REPAIRED PER OWNER'S DIRECTION (2ND FLOOR)
- ◇16 EXISTING STAIRWAY TO BE REFINISHED. INSTALL NEW GUARDRAIL AND HANDRAILS AS REQUIRED TO COMPLY WITH CBC WITH MATERIALS SUITABLE FOR STYLE OF HOME (2ND & 3RD FLOORS) - SEE DETAIL
- ◇17 EXISTING BRICK FIREPLACE TO BE ABANDONED IN PLACE WITH CHIMNEY TO BE REMOVED. INSTALL NEW BRICK REAR WALL FLUSH WITH BACK OF EXISTING BRICK TO CREATE NICHE TO REPRESENT FIREPLACE VISUALLY.
- ◇18 NEW REDWOOD SIDING TO MATCH EXISTING OVER TYVEK OR EQ BUILDING PAPER OVER NEW DF 2X4 AT 16" OC STUDS WITH 1/2" GYP. BD. INTERIOR FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR.
- ◇19 NEW REDWOOD SIDING TO MATCH EXISTING OVER TYVEK OR EQ BUILDING PAPER OVER 1 LAYER OF TYPE 'X' GYP. BD. (BOTH SIDES) OVER NEW DF 2X6 AT 16" OC STUDS WITH 1/2" GYP. BD. INTERIOR FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR. (1ST FLOOR)
- ◇20 NEW WOOD SHINGLE EXTERIOR WALL FINISH OVER TYVEK OR EQ BUILDING PAPER OVER OSB OVER 2X FRAMING (3RD FLOOR)
- ◇21 NEW REDWOOD SIDING (BOTH SIDES) GUARDRAIL TO MATCH EXISTING OVER TYVEK OR EQ BUILDING PAPER OVER NEW DF 2X6 AT 24" OC STUDS WITH OSB SHEATHING. +36" A.F.F.
- ◇22 NEW INTERIOR 2X4 AT 16" OC STUD WALL WITH 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR.
- ◇23 NEW INTERIOR 2X3 AT 16" OC STUD WALL WITH 1/2" GYP. BD. FINISHES. INSTALL. GYP. BD. OVER OSB SHEATHING ON THE INSIDE OF THE WALL WHERE NOTED AS SHEAR. (3RD FLOOR)
- ◇24 NEW 4X POST - SEE FRAMING PLANS
- ◇25 NEW REDWOOD SIDING FRAMED STAIRCASE TO MATCH EXISTING - SEE DETAILS (1ST FLOOR)
- ◇26 NEW CLASS B MIN. ROOFING SHINGLE SYSTEM TO MATCH EXISTING OVER 15/32" OSB DECKING W/ 8D AT 6" EN AND 12" FIELD - SEE SECTIONS AND ELEVATIONS FOR VARIOUS SLOPE CONFIGURATIONS (2ND & 3RD FLOORS)
- ◇27 NEW CLASS B MIN. ROOFING SHINGLE SYSTEM TO MATCH EXISTING OVER 15/32" OSB DECKING W/ 10D AT 6" EN AND 12" FIELD OVER TYPE 'X' GYP SHEATHING BOTH SIDES - SEE SECTIONS AND ELEVATIONS FOR VARIOUS SLOPE CONFIGURATIONS (2ND FLOOR)
- ◇28 NEW DOOR - SEE DOOR SCHEDULE
- ◇29 NEW SECTIONAL GARAGE DOOR - (1ST FLOOR)
- ◇30 NEW WINDOW - SEE WINDOW SCHEDULE
- ◇31 NEW 2X CAP TO MATCH FRONT PORCH TRIM (2ND & 3RD FLOORS)
- ◇32 NEW STEEL/WROUGHT IRON RAIL WITH METAL WIRE GUARDRAIL ON TOP OF BALCONY WALL - SEE DETAILS (2ND & 3RD FLOORS)
- ◇33 NEW CABINETS PER OWNER'S DIRECTION
- ◇34 NEW KITCHEN APPLIANCES PER OWNER'S DIRECTION
- ◇35 NEW CLOSET SHELF AND RODS PER OWNER'S DIRECTION
- ◇36 NEW URETHANE ELASTOMERIC TYPE DECKING SYSTEM OVER 3/4" T&G PLYWOOD DECK (2ND & 3RD FLOORS)
- ◇37 NEW STACKING WASHER AND DRYER UNIT (1ST FLOOR)
- ◇38 NEW STANDARD WASHER AND DRYER UNIT
- ◇39 NEW 2X FRAMED HVAC SOFFIT (1ST FLOOR +1'-0" A.F.F.)
- ◇40 NEW PLUMBING FIXTURES - SEE PLUMBING SCHEDULE (NOTE: ALL SHOWER ENCLOSURES ARE TO BE WITH TEMPERED GLASS AS OCCURS)
- ◇41 NEW GAS WATER HEATER - SEE PLUMBING SCHEDULE ON FRAMED PLATFORM W/ 3" DIA. PIPE BOLLARD PROTECTION SET IN 12" DIA CONCRETE FOOTING
- ◇42 NEW HVAC UNIT ON 3/4" PLYWOOD PLATFORM W/ 2x6 JOISTS AT 12" OC. PROVIDE 22"x36" CEILING ACCESS PANEL ADJACENT TO UNIT
- ◇43 NEW REDWOOD SIDING O/ 2X4 FRAMING STAIR GUARDRAIL TO MATCH EXISTING. PROVIDE WOOD FRAMED STAIRS (FIELD VARY IF DEPTH) 4" MIN-T" MAX RISERS AND 11" MIN TREADS. REPLACE SIDEWALK LANDING W/ 4" THICK CONC. LANDINGS AS SITE ALLOWS - SEE DETAILS
- ◇44 NEW WOOD OR PLASTIC COLUMN WRAP TO MATCH EXISTING FRONT PORCH WRAPS W/ 4X4 POST WITHIN
- ◇45 NEW 2x6 AT 12" TRELLIS OVER 4X8 MIN. HEADERS W/ (2) SIMPSON AC POST CAPS TO 4X POSTS

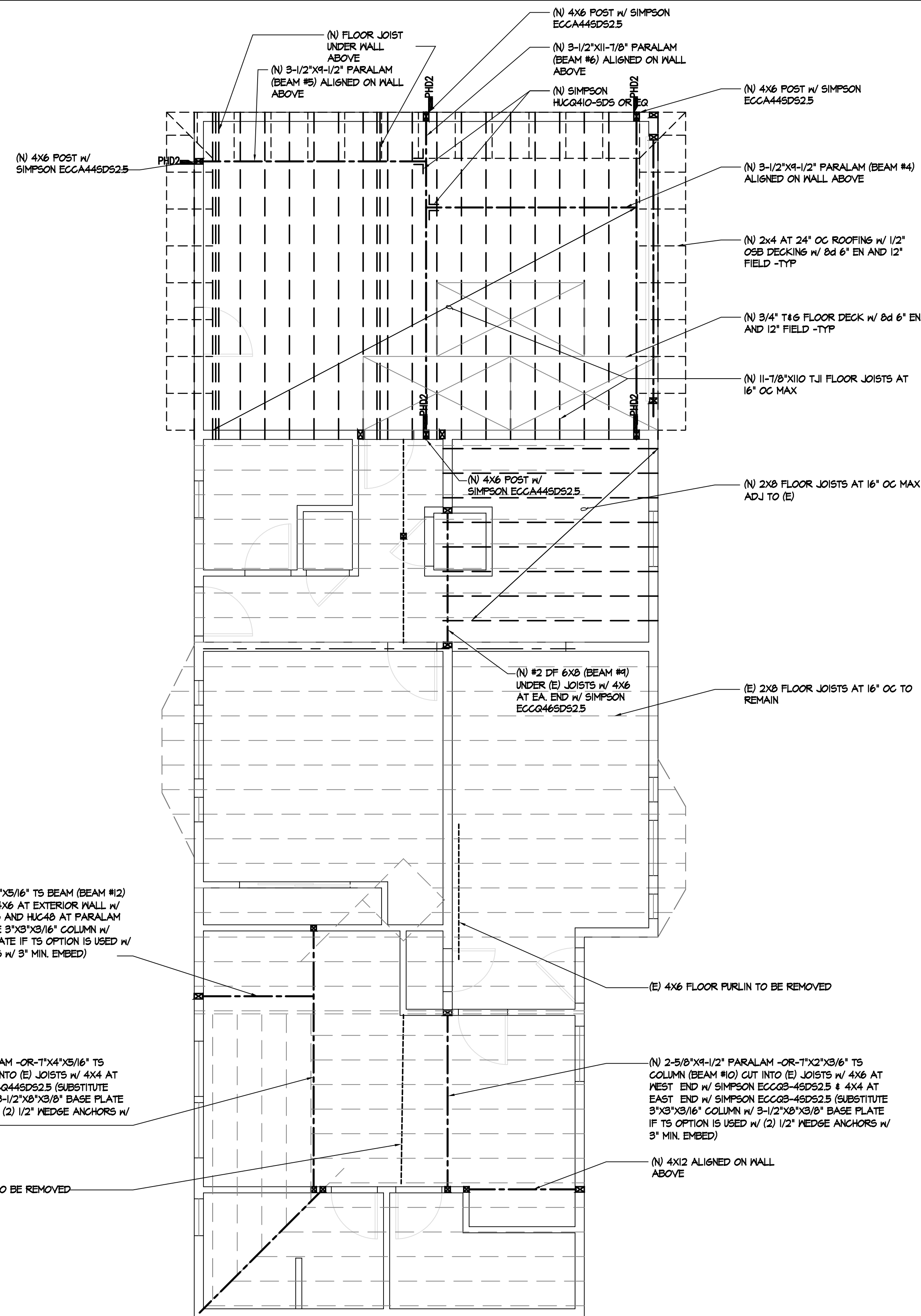


**IMPROVED UPPER FLOOR PLAN**

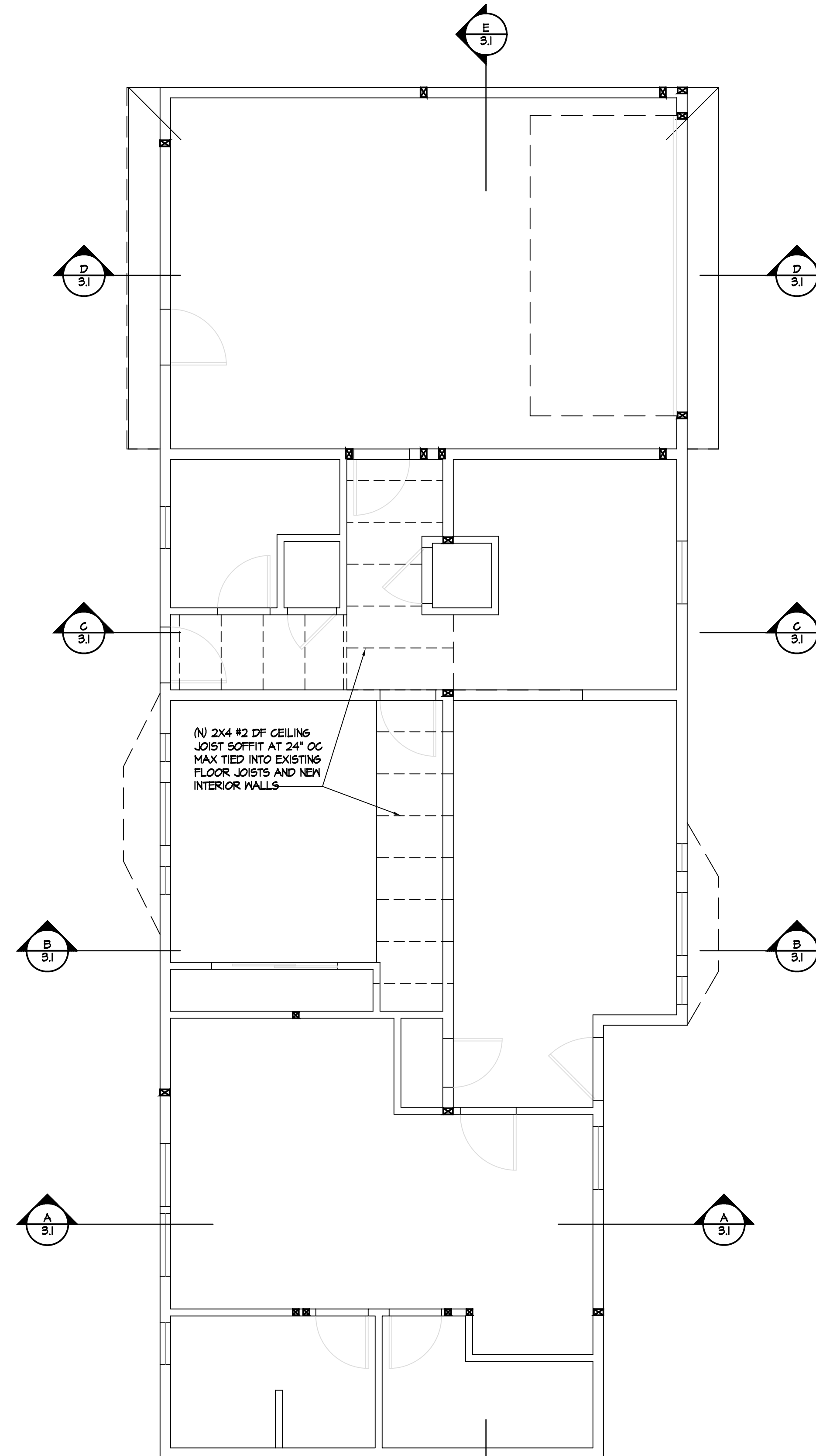


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 TITLES:  
 THIRD FLOOR  
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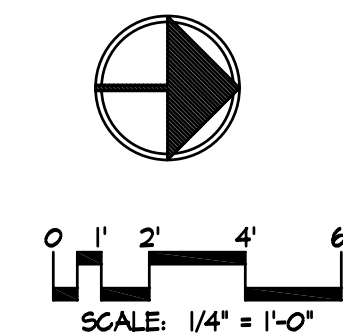
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SECOND FLOOR FRAMING PLAN



FIRST FLOOR CEILING PLAN



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 FRAMING PLANS

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